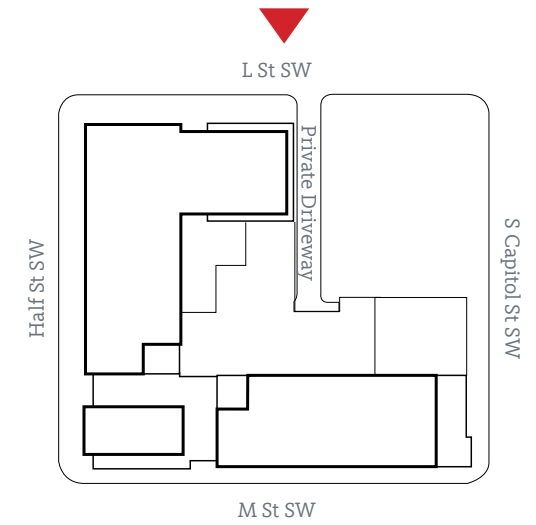


1 ELEVATION: NORTH  
SCALE: 1"=30'-0"



**SIGN TYPES**

RETAIL SIGNAGE

BUILDING SIGNAGE

**CODE ALLOWANCE**

**SIGNS ABOVE FIRST STORY**

(LINEAR FEET x HEIGHT ABOVE 20'-0")

$182 \times 128 = 23,296 \text{ SF}$

$23,296 \text{ SF} \times 1/40 = \mathbf{582.40 \text{ MAX SF}}$

**FIRST STORY SIGNS**

(LINEAR FEET x 2)

$182 \times 2 = \mathbf{364 \text{ MAX SF}}$



**SIGN TYPES**

RETAIL SIGNAGE

BUILDING SIGNAGE

**CODE ALLOWANCE – ONE ADDRESS**

**SIGNS ABOVE FIRST STORY**  
 (LINEAR FEET x HEIGHT ABOVE 20'-0")  
 $293.83 \times 132.33 = 38,882.52 \text{ SF}$   
 $38,882.52 \text{ SF} \times 1/40 = \mathbf{972.06 \text{ MAX SF}}$

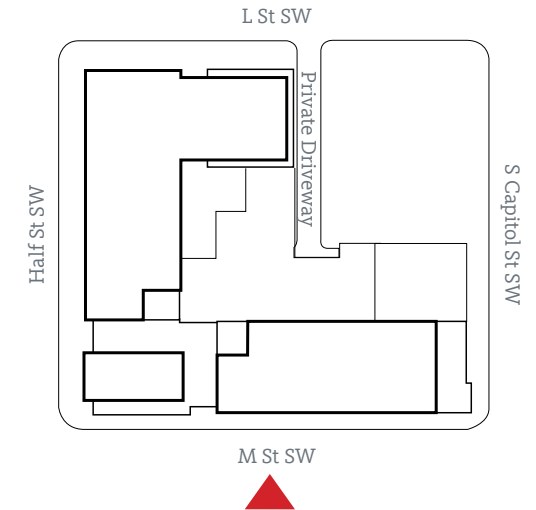
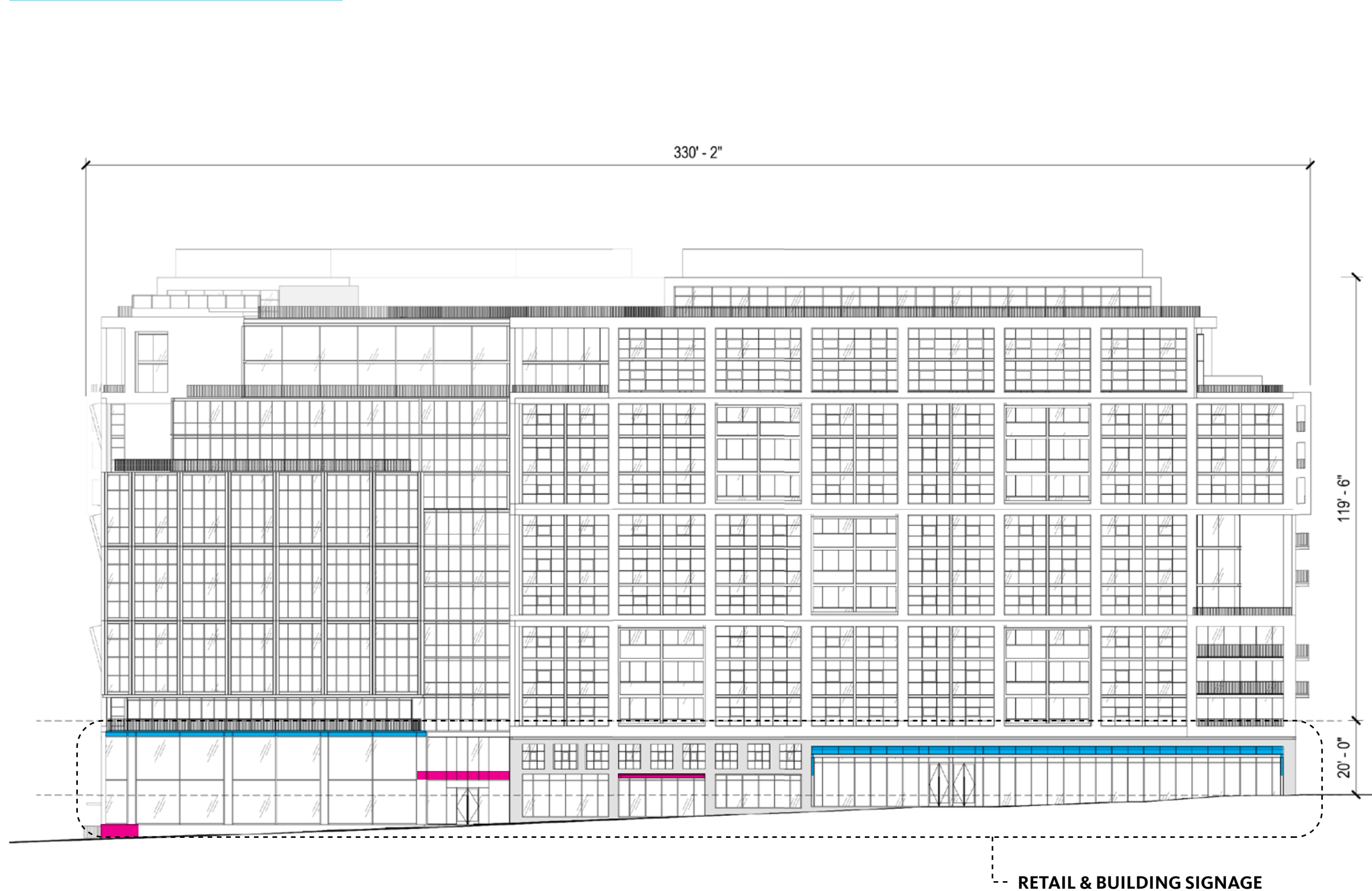
**FIRST STORY SIGNS**  
 (LINEAR FEET x 2)  
 $298 \times 2 = \mathbf{587.66 \text{ MAX SF}}$

**CODE ALLOWANCE – ADDRESS B ONLY**

**SIGNS ABOVE FIRST STORY**  
 (LINEAR FEET x HEIGHT ABOVE 20'-0")  
 $78 \times 132.33 = 10,321.74 \text{ SF}$   
 $10,321.74 \text{ SF} \times 1/40 = \mathbf{258.04 \text{ MAX SF}}$

**FIRST STORY SIGNS**  
 (LINEAR FEET x 2)  
 $78 \times 2 = \mathbf{156 \text{ MAX SF}}$

1 ELEVATION: WEST  
 SCALE: 1"=30'-0"



**SIGN TYPES**

RETAIL SIGNAGE

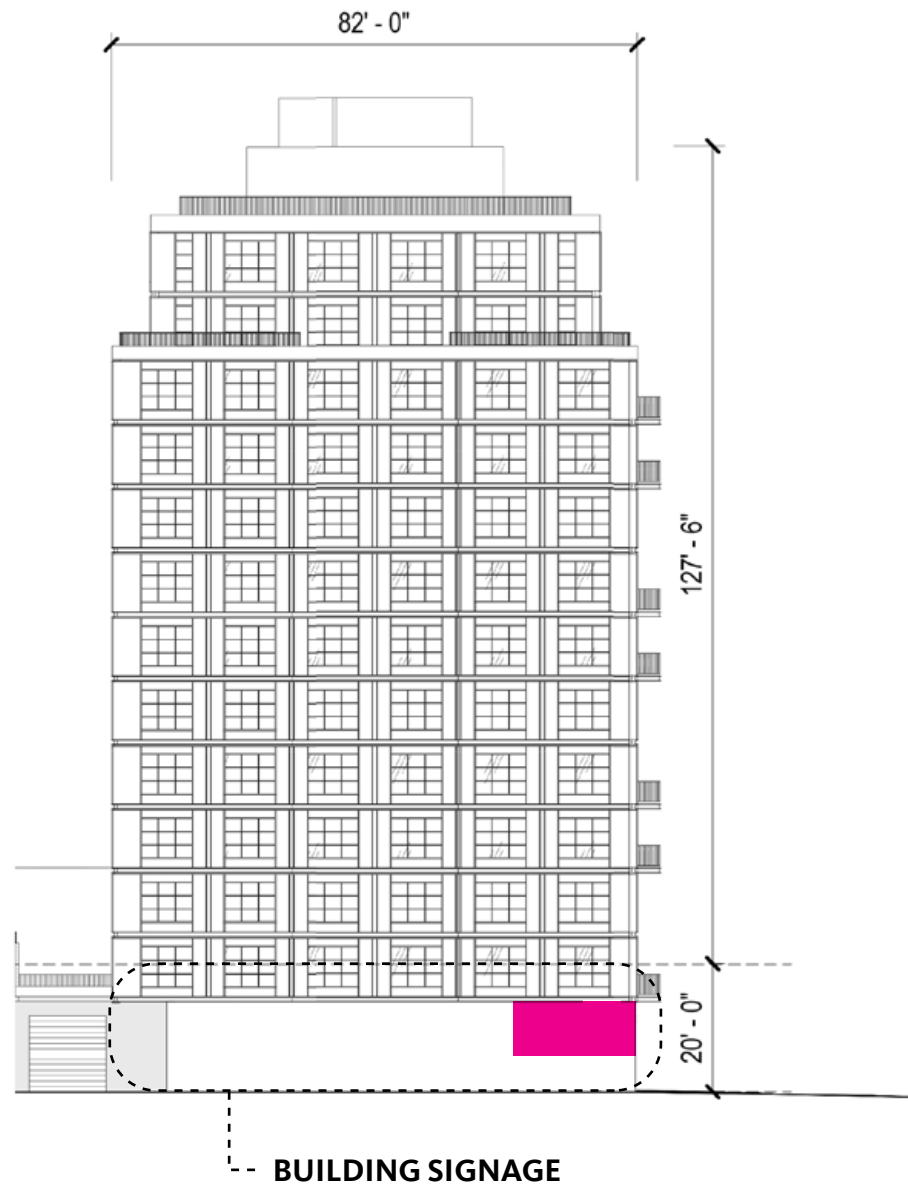
BUILDING SIGNAGE

**CODE ALLOWANCE**

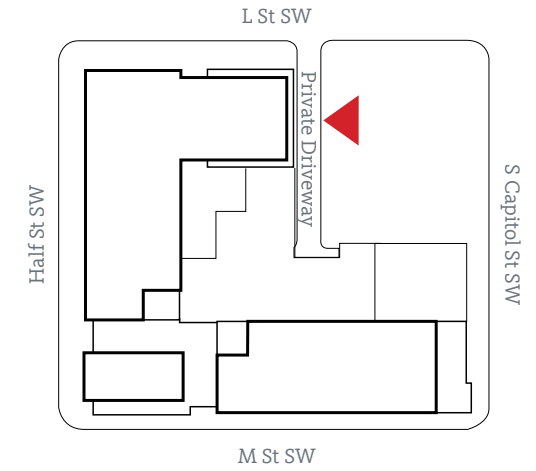
**SIGNS ABOVE FIRST STORY**  
 (LINEAR FEET x HEIGHT ABOVE 20'-0")  
 $330.17 \times 119.5 = 39,455.32 \text{ SF}$   
 $39,455.32 \text{ SF} \times 1/40 = \mathbf{986.38 \text{ MAX SF}}$

**FIRST STORY SIGNS**  
 (LINEAR FEET x 2)  
 $330.17 \times 2 = \mathbf{660.34 \text{ MAX SF}}$

1 ELEVATION: SOUTH  
 SCALE: 1"=30'-0"



1 ELEVATION: EAST A  
SCALE: 1"=30'-0"



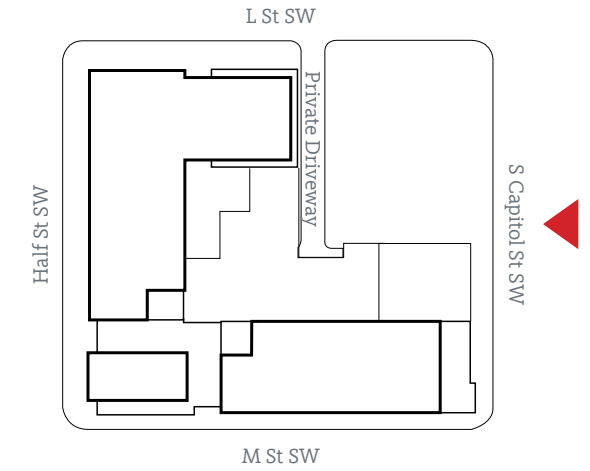
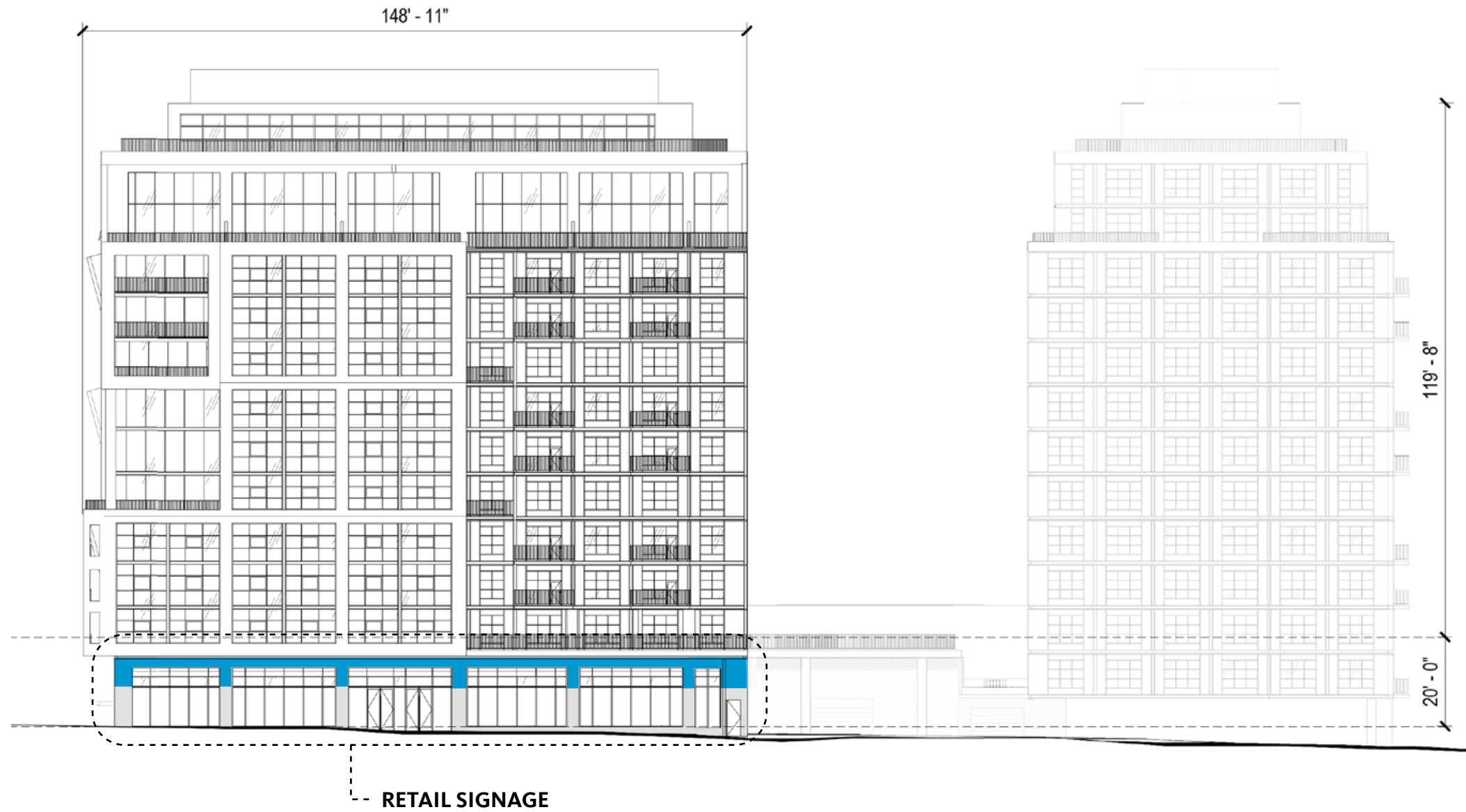
**SIGN TYPES**

- RETAIL SIGNAGE
- BUILDING SIGNAGE

**CODE ALLOWANCE**

**SIGNS ABOVE FIRST STORY**  
 (LINEAR FEET x HEIGHT ABOVE 20'-0")  
 $82 \times 127.5 = 11,092.50 \text{ SF}$   
 $11,092.50 \text{ SF} \times 1/40 = \mathbf{277.31 \text{ MAX SF}}$

**FIRST STORY SIGNS**  
 (LINEAR FEET x 2)  
 $82 \times 2 = \mathbf{164 \text{ MAX SF}}$



**SIGN TYPES**

RETAIL SIGNAGE

BUILDING SIGNAGE

**CODE ALLOWANCE**

**SIGNS ABOVE FIRST STORY**

(LINEAR FEET x HEIGHT ABOVE 20'-0")  
 $148.92 \times 119.67 = 17,821.26 \text{ SF}$   
 $17,821.26 \text{ SF} \times 1/40 = \mathbf{445.53 \text{ MAX SF}}$

**FIRST STORY SIGNS**

(LINEAR FEET x 2)  
 $144.92 \times 2 = \mathbf{289.84 \text{ MAX SF}}$

1 ELEVATION: EAST B  
 SCALE: 1"=30'-0"

# Typical Storefront Plan & Detail Elevation



2 TYPICAL STOREFRONT DETAIL  
SCALE: 1/2"=1'-0"

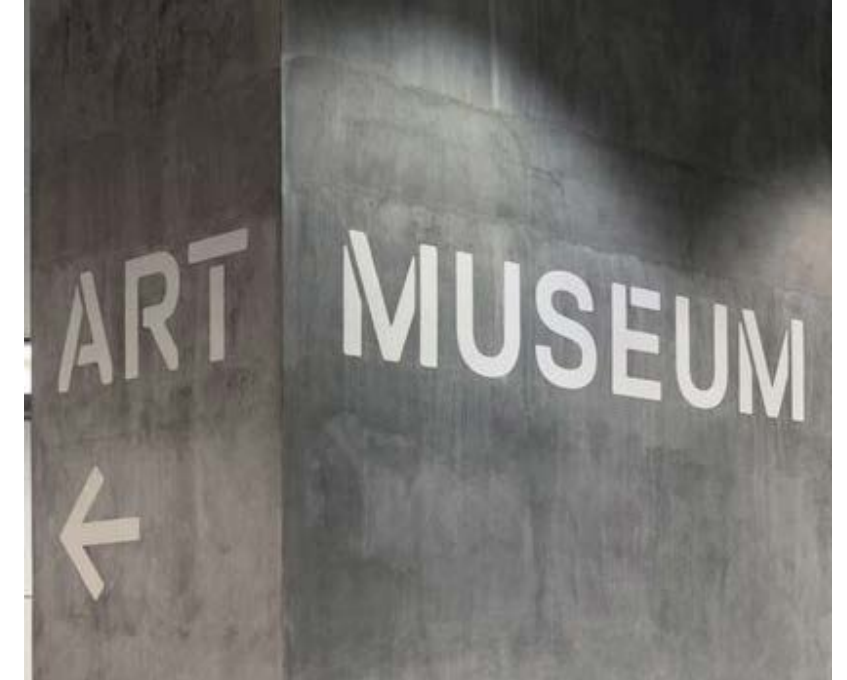


BLADE SIGN

SIGNAGE BAND SUBJECT TO CHANGE AND TO ACCOMMODATE LOUVERS AS NEEDED, TYP.

NOTE: EXTERIOR SIGNAGE IS PRELIMINARY. FONT, MESSAGE AND COLOR SUBJECT TO CHANGE PROVIDED THAT MAX. OVERALL DIMENSION TO REMAIN.

1 TYPICAL STOREFRONT DETAIL  
SCALE: 1/2"=1'-0"



**Building Identification**

Building identification signage could be placed on or adjacent to architectural structures but should be highly visible to vehicles and pedestrians. Signage may be internally or halo illuminated and could be placed inside or outside of the building shell.

**Parking Identification**

Parking identification signage should be clearly visible against the background it sits on and use complementary materials to the surrounding architecture. Letterforms and arrows may be illuminated or have light shining on them for night time visibility.



**Painted or Dimensional Signs**

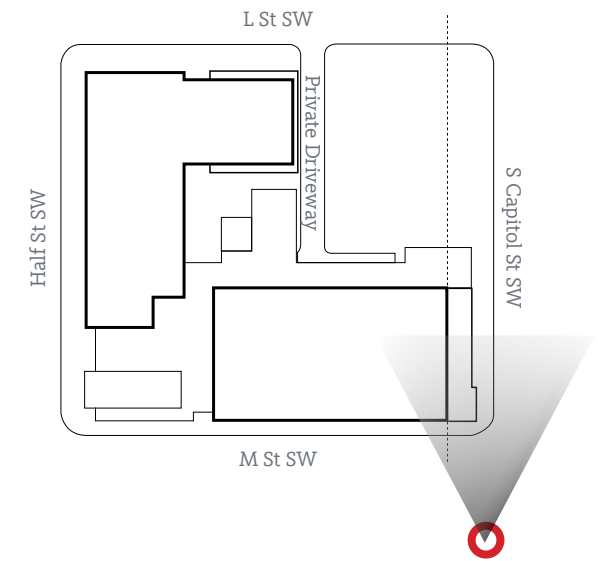
Signage could be placed on, above or below canopies and other architectural structures but must feel complementary and fully integrated. Signage may consist of flat or dimensional lettering and could be internally or halo illuminated.

**Blade Signs**

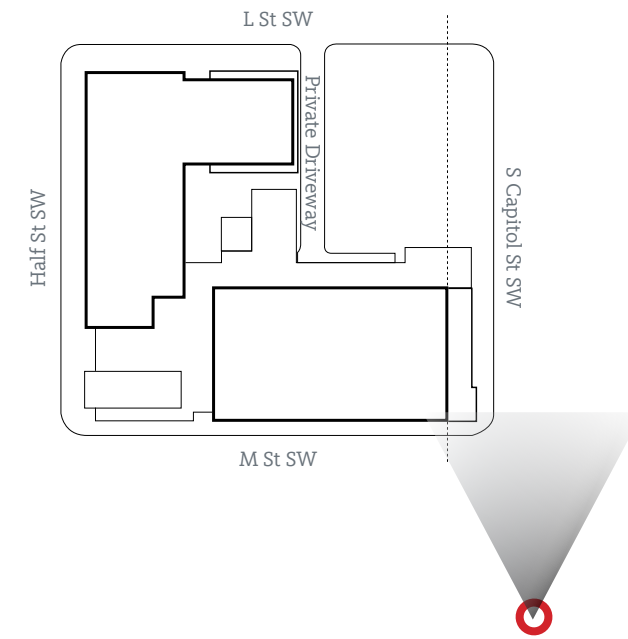
Blade signs shall be directly mounted to the building and materiality must feel complementary to surrounding architecture. Lettering on these signs could be dimensional or flat and sign may be internally illuminated.



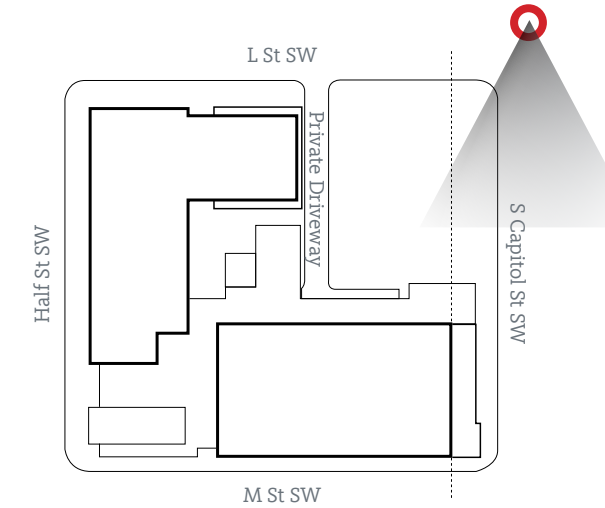
# Residential Scheme - View A | Perspective at S Capitol St SW - Looking North



# Residential Scheme - View B | Perspective at S Capitol St SW - Looking North

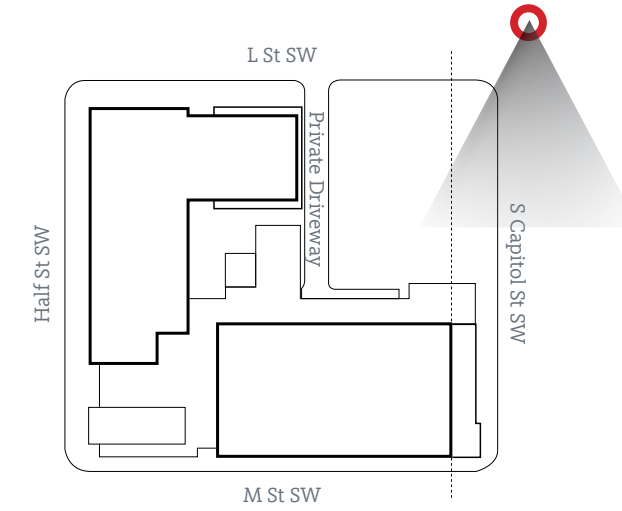


# Residential Scheme - View C | Perspective at S Capitol St SW - Looking South

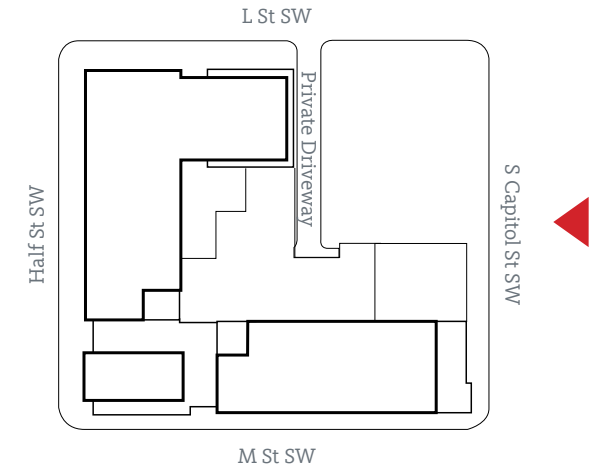


Foreground Lot shown without future building context.

# Residential Scheme - View C.1 | Perspective at S Capitol St SW - Looking South



Foreground Lot shown with future building context.



TOTAL AVAILABLE FRONTAGE TO 110': 15,917 SF  
FRONTAGE ON PL: 13,770 SF  
SETBACK [A] 3'-4": 1,392 SF  
SETBACK [B] 15'-0": 630 SF

TOTAL FACADE PERCENT ON PL = 86%  
TOTAL STREETWALL PERCENT ON PL = 100%

